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# SECTION FIVE

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F O R M  
F U N C T I O N  
A N D D E S I G N

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# INTRODUCTION

Good design is critical to the sustained development and longevity of any community. The identity of a community or neighborhood is often times determined by its aesthetics, scale, and quality of design. Design includes such attributes as building facades, quality of materials, scale of public spaces, streetscapes, proper signage, and connectivity.

During the planning process, four priority goals were developed for the Study Area. The fourth goal states, *"a unique place should be created through the use of distinctive urban elements and features"*. Currently there are no unique or identifying elements within the Study Area that differentiate it from other areas. To achieve the desired physical appearance a set of design guidelines were developed. Known as the *NW 86th Street Corridor Design Guidelines*, the guidelines are intended to "guide" future development activity in accordance with the desired physical appearance.

Success of the *NW 86th Street Corridor Design Guidelines* can only occur through the continual enforcement of the guidelines in the manner they were intended. Three legal tools can be used to properly enforce the guidelines. Creation of an area wide overlay district, revisions to the existing zoning ordinance, and/or creation of a mandatory planned urban district (PUD) are three tools available for use. All three tools, used separately and in conjunction with each other, will be utilized to achieve the desired redevelopment of each development area.

A NW 86th Street Corridor Overlay Zoning District should be established that sets the vision and development expectations for the entire corridor. Additionally, the Overlay Zoning District will address the permitted uses within each development area.

Within the Overlay Zoning District, each development area

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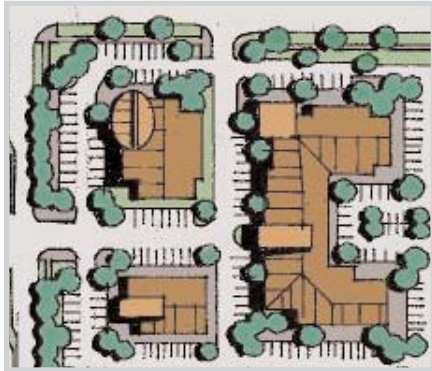
will have a set of specialized design guidelines intended to promote the vision of the corridor.

The design guidelines are organized into three basic elements of design: Site Development; Architectural Character; and Signage. The North End Development Area will generally utilize the existing C-4 zoning regulations. The Summit-Alice Residential and Harbach Commercial Development Areas have detailed design guidelines that address the unique character envisioned in those areas. The South End Development Area guidelines establish a framework, not a rigid set of requirements, for future mixed-use districts. A Planned Unit Development Ordinance will be necessary to ensure that the redevelopment in the South-End Development Area satisfies the intended expectations.

Finally, unique signage requirements are identified for each development area. The signage requirements are intended to allow creativity within each development area while providing a unified corridor appearance.

Used in conjunction with the current Zoning Ordinance and Design Standards Manual, these tools will ensure that the redevelopment of the corridor corresponds to the vision established by this plan.

# NORTH-END DESIGN GUIDELINES



RECOMMENDED BUILDING  
PLACEMENT, LOCATED SE  
CORNER OF THE  
HICKMAN/NW86TH ST  
INTERSECTION

## Site Development

### 1. Building Placement

NW 86th Street and Hickman Road are significant suburban arterial roadways that will continue to provide ample vehicle counts to support “big box” retail and office establishments. This area should redevelop to provide a range of retail and office uses, which exhibit a high quality of architecture and design.

- 1.a. Building Setbacks shall be provided in accordance with the following-
  - (1) The minimum front yard building setback shall be 60 feet.
  - (2) The minimum rear yard building setback shall be 35 feet.
  - (3) The minimum side yard building setback shall be 25 feet.

### 2. Open Space

Open space in the North-End Development Area shall primarily be used to buffer the less intense residential areas to the south. However, the open spaces and landscape areas should also be designed to complement the NW 86th Street streetscape.

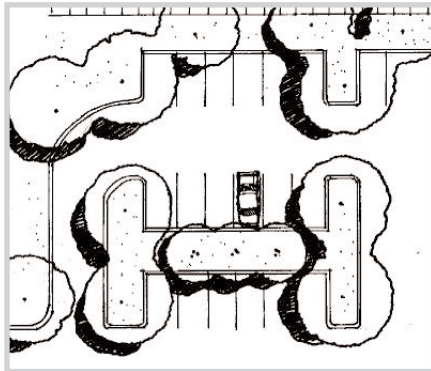
- 2.a. At least 25% of each lot shall be open space, exclusive of landscape buffer areas.
  - (1) Open spaces shall be free of any impervious surfacing and shall meet the following requirements:

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- (a) 1.5 trees per 1,000 square feet of required open space. Fifty percent of all required trees shall be over-story shade trees.
- 2.b. A 30 foot landscape buffer shall be provided along all property lines adjacent to residentially zoned property and/or the Summit/Alice Residential Development Area.
- (1) Landscape buffers shall contain the following plant materials per 30 lineal feet of buffer:
    - (a) one overstory shade tree;
    - (b) two evergreen trees;
    - (c) one ornamental tree.
  - (2) An 8 foot high wood privacy fence with substantially sized brick columns may also be included as a buffer requirement.

### 3. Parking

The parking lots in the North-End Development Area should be designed to accommodate the planned shopping center environment demand while minimizing the impact of the large paved areas on-site.

- 3.a. Parking Quantity: The base parking requirements in the North-End Development Area shall be established by the Clive Zoning Ordinance.
- 3.b. Parking Design: Parking lots shall be broken up into defined parking blocks subject to the following:
  - (1) No single parking block shall have more than 100 parking spaces.
  - (2) Parking blocks shall be bounded on all sides by any of the following:



PARKING LOT

- (a) the front building facade containing a minimum 10 foot wide sidewalk along the entire length of the facade.
- (b) a side or rear building facade containing a minimum 6 foot wide sidewalk along the entire length of the facade.
- (c) a public street, provided that a 15 foot parking lot and driveway setback is accommodated.
- (d) a 30 foot landscape buffer meeting the requirements of section 2.b. above.
- (e) a 20 foot wide landscaped median containing a minimum 6 foot wide sidewalk.

- 3.c. Parking Lot Landscaping: Parking lot landscaping shall be provided in accordance with the Clive Zoning Ordinance and Design Standards Manual.
- 3.d. Bicycle Parking Racks: On-site bicycle parking racks shall be provided at a rate of .5 rack spaces per 1,000 square feet of building area, to a maximum of 20 rack spaces required. Bicycle parking racks should be provided near building entrances.

#### 4. Site Access

Curb cuts allowing automobile access to a site hinder traffic flow and disrupt the pedestrian travel along NW 86th Street. While NW 86th Street is primarily an automobile-oriented environment, it is important to maintain and improve pedestrian mobility in the North-End Development Area.

- 4.a. Curb cuts on NW 86th Street shall be minimized. Access to sites shall occur at a single mid-block entrance with cross easements or by side street.
  - (1) No curb cut shall be allowed within 150 feet of a street intersection.

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- 4.b. Curb cuts on Hickman Road shall be minimized and allowed as permitted by the Iowa Department of Transportation.
  - 4.c. A 10 foot landscaped median containing a minimum 4 foot wide sidewalk shall be provided from each public sidewalk to the sidewalk along the building entrances. This direct connection shall be constructed of a material that differs from any paved vehicle surface such as pavers, a raised crosswalk, or textured/colored concrete (painted concrete will not constitute compliance with this provision).

## Architectural Character

### 5. Building Scale

The relative size or mass of a building in relation to adjacent buildings is a primary way to achieve design continuity in the NW 86th Street Study Area.

- 5.a. In order to achieve a degree of building scale compatibility, buildings in the North-End Development Area shall be limited to three stories in height. In no case shall a building or structure be greater than 45 feet tall.
- 5.b. Buildings shall be designed to promote quality architecture and design elements along all four building elevations. The use of colors, materials, facade projections and recesses, windows or awnings shall be incorporated to reduce the impact of all building elevations that are greater than 100 feet that face a public street or residential district.

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- 5.c. A tower or pediment at a building's cornice line may also be used to enhance the character or massing of a facade, provided its design and materials contribute to a consistent architectural style.

## **6. Building Materials**

In an attempt to unify the study area's visual characteristics, masonry shall be the dominant building material for new construction in the North-End Development Area.

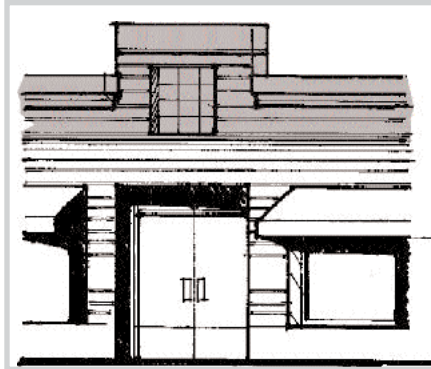
- 6.a. Commercial and office buildings shall be designed with 75% of all non-glazed surfaces as brick, split face concrete masonry units, stone, stucco or EFIS. In no case shall more than 25% of the 75% masonry requirement be satisfied with split face concrete masonry units, stucco or EFIS.
- 6.b. Wood, metal, concrete masonry units, concrete and other similar materials may be used in combination with dominate material to accent the architectural character of the building. In no case shall masonry be painted.
- 6.c. Wood, metal, concrete masonry units, concrete and other similar materials shall be permitted to remain on existing buildings; however, no addition or substantial alteration (in this case defined as more than 15% of the total building surface area) shall be permitted unless the above requirements are satisfied.

## **7. Roof**

The building roof not only provides protection from the elements, but also can enhance or detract from the design image of the building.

- 7.a. Only flat or slightly sloped roofs (for drainage) may be used for commercial uses.





EXAMPLE OF A PARAPET

7.b. On buildings with flat roofs, parapets shall be incorporated on all facades that face a public street or residential district.

7.c. Sloped roofs may be only used in secondary conditions, such as a roof over ancillary building uses or building entrances.

7.d. Mansard or false roofs of any style shall not be used.

### 8. Enhanced Entrances

A front entrance to a building or business should be emphasized as a special and unique place on the building's storefront. Building entrances facing the public street will create a public storefront, viewable from the adjacent public street.

8.a. A building's primary entrance shall face the public street in total or in part, such as at a building corner. In the case of buildings at the intersection of NW 86th Street and Hickman Road, the primary entrance shall face NW 86th Street in total or in part.

8.b. Entrances shall be recessed, slightly projected or enhanced through color, decorative materials and special paving treatment.

8.c. Secondary entrances may be used on any other facade.

# SUMMIT/ALICE RESIDENTIAL DESIGN GUIDELINES

## Site Development

### 1. Density

Greater density allows for more residents to be within walking distance to the amenities, services, and stores in the NW 86th Street Study Area. Mixing densities of residential uses adds diversity to the neighborhood, creates options for different lifestyles or life stages, and establishes long-term stability in the neighborhood.

- 1.a. Net density for non-single family residential development in the Study Area should be a maximum of 20 dwelling units per acre.

### 2. Open Space

Open space, both private and public, should be used to accent the architectural and natural features of new residential development in the Corridor. Open space should create a smooth transition from public spaces to private spaces through uniform designs with public spaces and increased buffering for private spaces. A hierarchy of open spaces that focuses on design and function rather than strictly the quantity allows open space solutions that best enhance development in the corridor. This will allow higher density development only in exchange for improved site design.

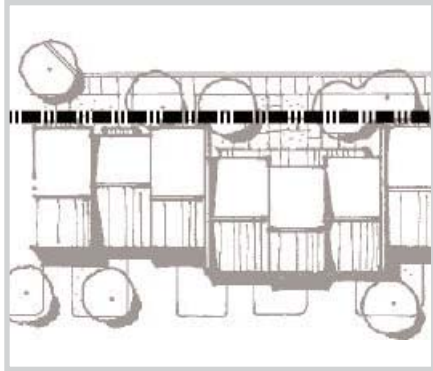
- 2.a. Residential redevelopment parcels should provide public or common open space based on the following schedule:

Net Density	% of Parcel as Common or Public Open Space
0 to 8 units per acre	10 %
9 to 13 units per acre	15 %
14 to 17 units per acre	20 %
18 to 20 units per acre	25 %

- 2.b Open space should be designed in one of two general categories: natural open space or formal open space. A 30% area credit for any formal open space provided on the site may be applied towards the requirement in 2.a. Open space categories, types, and designs should be according to the following:

Open Space Category	Open Space Type	Size Range	Description, Design and Function
Natural Open Space	Park	Over 2 acres	An undeveloped natural area for unstructured recreation. A park may include some areas for structured recreation, but generally this area should occupy no more than 20% of the total area.
	Trail	At least 30' wide at all locations and continuous throughout the project	An undeveloped area of continuous linear natural features, often following a stream or floodplain. A trail should be usable for recreation and non-motorized transportation. It includes few constructed improvements except for those to enhance travel or recreational use.
	Natural Area	Size dictated by important features to be preserved	An undeveloped area that contains significant natural features or habitat worthy of preservation. Features such as large stands of trees, water elements, or prominent topography characterize preserves.
Formal Open Space*  (*eligible for a 30% credit towards open space area goals)	Courtyard	400 to 2,000 square feet	Courtyards are primarily bordered by building facades, but have at least one side fully or partially boarded by a public right-of-way. Courtyards are often constructed of materials to withstand heavy pedestrian traffic, but contain intermittent formal landscape elements.
	Plaza	2,000 to 5,000 square feet	A plaza is bordered by public right-of-ways or private walks on at least 2 sides, and building facades to define its boundaries. It is largely constructed of materials to withstand heavy pedestrian traffic, but contains intermittent lawns, landscape beds, or trees in a formal pattern.
	Green	2,000 to 10,000 square feet	A green is bordered by public right-of-ways on at least 2 sides, front building facades, and formal landscaped elements to define its boundaries. It is designed for unstructured recreation and is primarily landscape areas. Generally there are few constructed elements except as a formal entry to or a focal point for the green.
	Playground	1,000 to 5,000 square feet	Playgrounds are often boarded by a fence or other private boundary (as in the case of a playground internal to a block) but are accessible by common pedestrian path. It is designed with equipment for structured play. Alternatively, playgrounds included as part of a larger formal or natural open space do not necessarily have borders.

- 2.c. Front yards, including secondary front yards shall incorporate a grass lawn with at least one shade tree for every 40 feet of frontage.
- 2.d. Planting of deciduous or evergreen shrubs shall be utilized to screen the foundation of all structures.



TOWNHOUSE SETBACKS



ORIENTATION OF FRONT PORCH

- 2.e. Decorative wooden or ornamental metal fencing of a single unified design that compliments the architectural character of the townhouse may be utilized along the front and side property lines but can not exceed 3 feet in height.

### 3. Setbacks

The public street is the primary place for community interaction. Setbacks smaller than typical suburban residential streets allow buildings to frame the street and create a pedestrian environment.

3.a. Setback requirements for townhouses are as follows:

- (1) Front yard setbacks shall be a minimum of 15 feet and a maximum of 25 feet, except for those units constructed facing NW 86th Street.
  - (a) Townhomes constructed facing NW 86th Street shall be setback at least 25 feet and no more than 50 feet.
  - (b) Unenclosed porch, entries and porticos may extend 5 feet into the front yard setback.
- (2) Minimum side yard setbacks for townhouses and detached garages shall be:
  - (a) 0 feet for internal lot lines.
  - (b) 6 feet for end-unit lot lines. No more than 6 townhome or detached garage units may be attached in a single structure and no structure shall be closer than twelve feet to another structure.
  - (c) Fifteen feet for any side yards adjacent to a public street.
- (3) The minimum rear yard setback shall be:

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- (a) 25 feet for dwellings and attached garages.
  - (b) 5 feet for detached garages.

#### **4. Orientation to the Street**

Designing active portions of the residences closer to the street through the use of porches, front doors, and windows into living quarters can create a sense of community and add safety to the pedestrian environment. These designs shall create an effective transition from the public street to private residences while maintaining the privacy inside of residences.

- 4.a. All residential structures shall have a front entry that faces the street (public street, private drive or alley way). The front entry shall incorporate an unenclosed porch, covered stoop or portico or awning of not less than 4 feet by 4 feet. A useable front porch, 4 feet by 8 feet or greater, is preferred.
- 4.b. Residential structures should engage the street, providing the massing and building form that helps define the block, but variations on setbacks should be allowed among the units. These slight variations help to reduce the scale of multiple unit development, provide visual interest, provide a sense of entry and transition from the street, and to allow landscaping. Front setback deviations should provide a definable rhythm among the unit development.
- 4.c. Townhouses with a front setback between 15 and 25 feet should have a ground floor elevated between 3 and 5 feet above the street grade.
- 4.d. Site plan configurations and building designs that create blank walls along public streets or orient front doors so they are not visible from the street shall not be accepted.

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## 5. Garages, Parking Areas, and Driveways

Emphasis on pedestrian activities is supported by de-emphasizing structures and facilities designed solely for automobiles. Economical use of these structures and facilities can place priority on the design of usable space for people.

- 5.a. Garages and parking areas shall not be emphasized along street frontage. Detached garages in the rear yard with access to mid-block streets or private shared driveways along the rear of the property are preferred.
- 5.b. Attached garages may only be accessed from the rear of townhouse units.
- 5.c. All off-street exterior parking areas shall be located behind the structure. All parking shall be screened from any public street or adjacent residential property by an ornamental fence compatible with the architectural style and materials of the structure.
- 5.d. At least one attached or detached garage parking area per dwelling unit shall be provided.



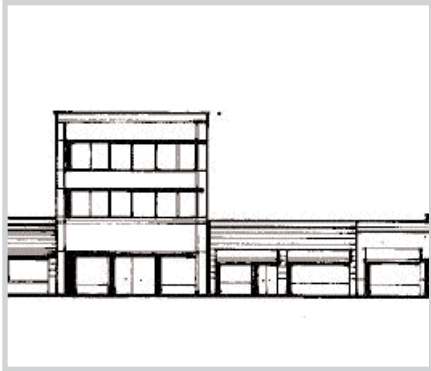
PROPER SCALE AND  
LANDSCAPING

## 6. Scale

The relative size and mass of a building in relation to adjacent buildings is one of the primary ways to achieve design continuity in the Summit/Alice Residential Development Area. Attention to building scale allows a variety of residential uses to coexist in the same neighborhood and creates a consistent character throughout the public streets.

- 6.a. Residential structures shall reflect the scale of the surrounding development context. Structures shall not exceed three stories in height or 45 feet in total height.
- 6.b. Structures may incorporate a flat roof with a parapet or sloped roof.

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- 6.c. Detached garages shall not exceed 450 sq. feet per dwelling unit and shall not be taller than 1 story or 12 feet in height. In no case shall more than 6 detached garages be attached in a row.



IMPROPER SCALE

## 7. Materials

Building materials convey a sense of quality regardless of the type of structure. The use of similar quality materials for a variety of residential structures can allow diverse dwelling opportunities to coexist in a single neighborhood, while preserving the value of private investments in the corridor.

- 7.a. Building materials for residential structures should mirror those found in other structures within the area. Townhomes shall be designed with 50% of all non-glazed surfaces as brick, stone, stucco or EFIS. In no case shall more than 25% of the 50% masonry requirement be satisfied with split face concrete masonry units, stucco or EFIS.
- 7.b. All garages and accessory structures shall be designed and constructed of the same materials, including a similar masonry composition, window arrangement and roof articulation as the residential structure.

# HARBACH COMMERCIAL DESIGN GUIDELINES



EXAMPLE OF STREETFRONT  
BUILDING TYPE

## Site Development

### 1. Building Placement

NW 86th Street is an automobile-oriented street. However, it is advantageous to establish a development pattern that promotes a more cohesive visual appearance. It is important to anchor block corners with buildings, bringing activities close to the street. This guideline establishes a building placement pattern that shall be encouraged regardless of size, scale, or location. Buildings in the Harbach Commercial Development Area may generally elect one of two frontage types - Streetfront Buildings and Buffered Buildings - according to the following guidelines.

- 1.a. Streetfront Buildings shall be set back from the property line between 0 and 15 feet and shall meet the following design considerations:
  - (1) A sidewalk at least 10 feet wide is continuous across the front façade(s);
  - (2) Tree or landscape wells exist between the front façade and the street edge at least every 40 feet on center. Tree or landscape wells shall be at least 25 square feet and in all cases sized to ensure survival of the plant species.
  - (3) Any area in front of the building not used for sidewalks shall contain landscape materials or a lawn area.
- 1.b. Buffered buildings shall be set back from the property line to allow for pedestrian access along the building front with two rows of parking, a drive aisle, and an expanded parking lot buffer in front of the building.





APPROPRIATE PEDESTRIAN  
CROSSWALK

Buffered buildings shall meet the following design considerations:

- (1) The front setback line shall be no less than 75 feet and no greater than 85 feet from the public right-of-way. However, the front setback for two adjacent buffered buildings should not differ by more than 5 feet.
- (2) All off-street parking shall be set back from the right-of-way line by 10 feet.
- (3) A sidewalk at least 10 feet wide shall be continuous across the front façade. This sidewalk and the public sidewalk shall have at least one direct pedestrian connection for each building. This direct connection shall be constructed of a material that differs from any paved vehicle surface such as pavers, a raised cross-walk or textured concrete (Painted stripes shall not be considered an acceptable means of differentiation).
- (4) A maximum of two rows of parking, accessible by a drive aisle, may be in front of the building.
- (5) Any additional areas in front of the building, or areas not used for parking shall be designed to meet the open space requirements of these guidelines.

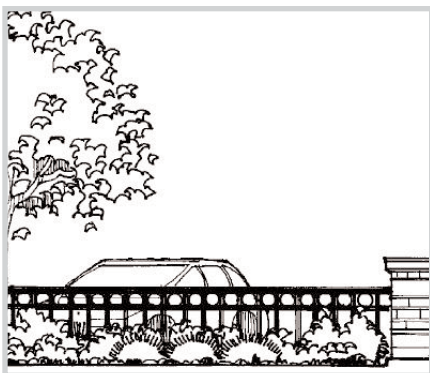
- 1.c Buildings in prominent locations in the Harbach Commercial Development Area should be Streetfront Buildings. Prominent locations include corner properties at the intersections of NW 86th Street and Harbach Boulevard, NW 86th Street and Alice Avenue and NW 86th Street and University Boulevard.

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## 2. Open Space

Open space in the Harbach Commercial Area shall consist of landscape areas, natural areas, plazas or courtyards designed to enhance the architectural and natural features in the Corridor. These areas shall be designed and located to provide the greatest impact on the public realm, including the public rights-of-ways or regularly traveled private ways:

- 2.a. At least 15% of each lot shall be open space, exclusive of landscape buffer areas.
- (1) Open spaces shall be free of any impervious surfacing and shall meet the following requirements:
- (a) 1.5 trees per 1,000 square feet of required open space. Fifty percent of all required trees shall be over-story shade trees.
- 2.b. A 20 foot landscape buffer shall be provided along all rear property lines adjacent to residentially zoned property.



SCREENED PARKING

- (1) Landscape buffers shall contain the following plant materials per 30 lineal feet of buffer:
- (a) one overstory shade tree;
- (b) one evergreen tree;
- (c) one ornamental tree;
- (d) nine shrubs.
- 2.c. Parking lots along any public street shall be screened with a low ornamental wall constructed primarily with brick masonry to match the architectural detailing of the building. The parking screen shall be approximately 30 inches in height from the parking lot grade

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and shall be located approximately 3 feet from the back of curb.



OUTDOOR COURTYARD

- 2.d. Plazas or courtyards shall be at least 400 square feet and be designed with landscape materials and public seating subject to the following:
- (1) no more than 50% of required open space shall consist of plazas or courtyards.
  - (2) plazas or courtyards shall be located either immediately adjacent to the public right-of-way in case of streetfront buildings or immediately adjacent to building entrances for buffered building layouts.
  - (3) plazas or courtyards shall be bound by an ornamental fence, wall, planters and/or landscaping.

### 3. Parking

The impact of parking lots in the Harbach Commercial Development Area should be minimized while still providing adequate access and parking supply for the many uses in the corridor. The impact of parking can be minimized through flexible minimum parking requirements, location standards and landscape standards.

- 3.a. Parking Quantity: The base parking requirements in the Harbach Commercial Development Area shall be established by the current Clive Zoning Ordinance.
- (1) Shared parking shall require a written agreement of the parties sharing the parking facilities, including any necessary easements, maintenance agreements and reliable parking projections for each party. The agreement

shall be approved by the City and filed with the County Recorder.

- (2) The following table shall be used to determine the required parking based on the shared parking agreement. Whichever time period requires the highest total parking spaces among the various uses subject to the shared parking agreement should be the amount of parking provided.

Category of use sharing parking	Percentage of Required Parking Spaces by Time Period					
	Weekday Daytime & Evening		Weekend Daytime & Evening		Nighttime	
	6 am to 5 pm	5 pm to 1 am	6 am to 5 pm	5 pm to 1 am	1 am to 6 am	
Office	100 %	10 %	5 %	5 %	5 %	
Retail	75 %	75 %	100 %	90 %	5 %	
Restaurant	50 %	100 %	75 %	100 %	25 %	
Entertainment & Recreation	30%	100 %	75 %	100 %	5 %	
Church	5 %	25 %	100 %	50 %	5 %	
School	100 %	10 %	10 %	10 %	5 %	
Residential	25 %	90 %	50 %	90 %	100 %	
Lodging	50 %	90 %	75 %	100 %	100 %	

- (3) Shared parking spaces shall be within a reasonable proximity to the entrance for any use sharing the parking and provide direct pedestrian access to the entrance.

3.b. Parking Design: Parking lots shall be broken up into defined parking blocks subject to the following:

- (1) No single parking block shall have more than 100 parking spaces.
- (2) Parking blocks shall be bounded on all sides by any of the followings:

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- (a) the front building facade containing a minimum 10 foot wide sidewalk along the entire length of the facade.
  - (b) a side or rear building facade containing a minimum 6 foot wide sidewalk along the entire length of the facade.
  - (c) a public street, provided that a 10 foot parking lot and driveway setback is accommodated.
  - (d) a 20 foot landscape buffer meeting the requirements of section 10.b. above.
  - (e) a 20 foot wide landscaped median containing a minimum 6 foot wide sidewalk.

3.c. Parking Lot Landscaping: Parking lot landscaping shall be provided in accordance with the Clive Zoning Ordinance.

3.d. Bicycle Parking Racks: On-site bicycle parking racks shall be provided at a rate of .5 rack spaces per 1,000 square feet of building area, to a maximum of 20 rack spaces required. Bicycle parking racks shall be provided near building entrances.

#### **4. Site Access**

Curb cuts allowing automobile access to a site hinder traffic flow and disrupt the pedestrian travel along NW 86th Street. While NW 86th Street is primarily an automobile-oriented environment, it is important to maintain and improve pedestrian mobility in the Harbach Commercial Development Area. Key crosswalks on NW 86th Street should be located at Harbach Boulevard, Alice Avenue and Franklin Avenue.

4.a. Curb cuts on NW 86th Street shall be minimized. Access to sites shall occur at a single mid-block entrance with cross easements or by side street.

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- (1) No curb cut shall be allowed within 150 feet of a street intersection.

## Architectural Character

### 5. Building Scale

The relative size or mass of a building in relation to adjacent buildings is a primary way to achieve design continuity in the Study Area.

- 5.a. In order to achieve a degree of building scale compatibility, buildings in the Harbach Commercial Development Area shall be designed with two or three stories. One story building shall only be permitted when existing conditions do not allow for the construction of a multi-story building.
- 5.b. Streetfront buildings at the intersections of Harbach Boulevard, Alice Avenue and University Boulevard should be designed with three stories. In no case shall a building be designed with less than two stories in height.
- 5.c. Buffered buildings may be designed with multiple stories.
- 5.d. All buildings shall be designed to promote quality architecture and design elements along all four building elevations. The use of colors, materials, facade projections and recesses, windows or awnings shall be incorporated to reduce the impact of all building elevations that are greater than 100 feet.
- 5.e. A tower or pediment at a building's cornice line may also be used to enhance the character or massing of a facade, provided its design and materials contribute to a consistent architectural style.



ARCHITECTURAL CHARACTER



TOWER USED TO ENHANCE  
THE CHARACTER

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## 6. Building Materials

In an attempt to unify the study area's visual characteristics, masonry shall be the dominant building material for new construction in the Harbach Commercial Development Area.

- 6.a. Commercial and office buildings shall be designed with 75% of all non-glazed surfaces as brick, split face concrete masonry units, stone, stucco or EFIS. In no case shall more than 25% of the 75% masonry requirement be satisfied with split face concrete masonry units, stucco or EFIS.
- 6.b. Wood, metal, concrete masonry units, concrete and other similar materials may be used in combination with dominate material to accent the architectural character of the building. In no case shall masonry be painted.
- 6.c. Wood, metal, concrete masonry units, concrete and other similar materials shall be permitted to remain on existing buildings; however, no addition or substantial alteration (in this case defined as more than 15% of the total building surface area) shall be permitted unless the above requirements are satisfied.

## 7. Roof

The building roof not only provides protection from the elements, but also can enhance or detract from the design image of the building.

- 7.a. Only flat or slightly sloped roofs (for drainage) may be used for commercial uses.
- 7.b. On buildings with flat roofs, parapets shall be incorporated on all facades that face a public street or residential district.

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- 7.c. Sloped roofs may be only used in secondary conditions, such as a roof over ancillary building uses or building entrances.
  - 7.d. Mansard or false roofs of any style shall not be used.

### 8. Enhanced Entrances

A front entrance to a building or business shall be emphasized as a special and unique place on the building's storefront. Building entrances facing the public street will create a public storefront, viewable from the adjacent public street.

- 8.a. A building's primary entrance shall face the public street in total or in part, such as at a building corner. In the case of buildings at the intersection of NW 86th Street and Harbach Boulevard or Alice Avenue, the primary entrance shall face NW 86th Street in total or in part.
- 8.b. Entrances shall be recessed, slightly projected or enhanced through color, decorative materials and special paving treatment.
- 8.c. Secondary entrances may be used on any other facade.



PROPER ARRANGEMENT OF A STOREFRONT

### 9. The Building Front

The proper arrangement of a storefront's doors and windows helps communicate the nature of a building's use and character. Although storefronts may be removed from the public street, a visible presence may still be established for on-street traffic and pedestrian walkways.

- 9.a. The ground level of a storefront facing NW 86th Street shall be transparent (70% clear glass minimum). In the case of a building at the intersection of NW 86th



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Street and Harbach Boulevard or Alice Avenue, the ground level building facade along the side street shall have a minimum of 40% clear glass.

- 9.b. Storefront displays shall be uncluttered and artistic. Storefront displays shall incorporate decorative lighting for nighttime use.
- 9.c. Upper-floor glazing shall not have a dark tint or mirrored appearance.
- 9.d. Building lighting should be incorporated on the front facade, as well as any facade that is adjacent to a public access area. This will enhance the building's architectural detailing and/or to light a walkway or parking area. Building lighting shall be compatible with the building's architectural theme.

## 10. Awnings/Canopies

Awnings and canopies are prominent components in any street environment. They are both functional and ornamental. They provide shade from the sun, protect windows, add color, compliment existing architecture, and can even be used for signage.

- 10.a. Fixed or retractable awnings shall be made of opaque fabric on a securely mounted metal frame.
- 10.b. Awnings shall be mounted in an angled configuration with their lowest point ranging from 7'-6" minimum to 9'-0" maximum. This maximum distance may be extended to account for a sloping ground or sidewalk condition.
- 10.c. Arched, barreled, or horizontal awnings shall not be used in this district.



AWNINGS AND CANOPIES



EXAMPLE OF AN AWNING

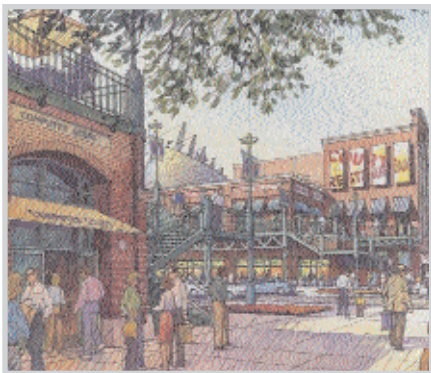
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- 10.d. Awnings shall be the same color, pattern, and have the same mounting characteristics for a single business. Awnings on a single building shall have a consistent horizontal alignment across the front of the entire building.
  - 10.e. Awnings shall utilize primarily muted, neutral, or earth tone type colors.
  - 10.f. Permanent canopies or marquees may be used at the primary building entry or along an entire façade. To be approved, the design of canopies or marquees shall be consistent with the design theme of the building and have a decorative or ornamental appearance.
  - 10.g. Awnings shall receive routine and proper maintenance so that they remain free of rips, holes, stains, or fading at all times.

# SOUTH-END DESIGN GUIDELINES

The South-End Development Area contains property that potentially can be redeveloped into architecturally distinct but unified mixed-use centers: Historic Swanson Triangle, Walnut Creek Entertainment and Walnut Creek Commercial districts.

Each mixed-use district encourages the development of compact, urban buildings that compliment the surrounding neighborhoods and are supported by existing and planned transportation networks constructed to support the traffic demands of both the automobile and the pedestrian. In each case, the mixed-use districts should be designed in consideration of public plazas or courtyards, the Greenbelt, historical amenities or other urban open space that can serve as focal points for community activities.

The following guidelines are intended to provide a framework, not a rigid set of requirements, defining the expectations of development within the mixed-use districts in the South-End Development Area. Specific site and architectural design standards should be more formally memorialized during the approval of the individual Development Agreement documents.



EXAMPLE OF  
ENTERTAINMENT DISTRICT

## Site Development

### 1. Mixed-Use Districts

All mixed-use district plans should be designed to accommodate a range of public, office, retail and housing opportunities. The mix of uses should be incorporated through both horizontal and vertical arrangements.

- 1.a. Retail, restaurant and entertainment uses should generally be placed at street level, while office and residential uses should be placed in the rear or on the upper stories.



EXAMPLE OF  
APPROPRIATE BALANCE



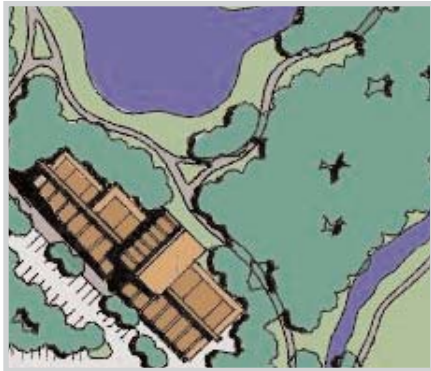
EXAMPLE OF  
APPROPRIATE BALANCE

- 1.b. Residential uses could include both owner occupied and rental dwelling units.
- 1.c. Retail and restaurant uses should be encouraged to take the “indoors” outdoors by spilling interior space (i.e.: dining areas or small merchandise displays) onto walkways and plazas.

## 2. Building Placement

All mixed use district plans shall strive to achieve an appropriate balance between the physical definition of the streets and the pedestrian character of the buildings.

- 2.a. Buildings should be located within 25 feet of the streets, with off-street parking behind and/or beside the buildings.
- 2.b. If the property is located at the corner of a street intersection, the buildings should be located at the corner. Parking or service uses should not be located at an intersection.
- 2.c. To maximize the street frontage of the buildings and to minimize the street frontage of parking lots, buildings should be oriented so that the long side fronts the street.
- 2.d. Pedestrian circulation should be an integral part of building placement layout. Buildings should be arranged to frame and reinforce pedestrian circulation so that the pedestrian walks along the building fronts rather than along or across a parking lot.
- 2.e. Buildings should be arranged to create view corridors between pedestrian destinations within and adjacent to the site including building entrances, historical amenities, the Greenbelt or other urban open space.



RELATIONSHIP WITH GREENBELT



PUBLIC OPEN SPACE

- (1) Buildings within the Walnut Creek Entertainment and Walnut Creek Commercial district, that are adjacent to the Greenbelt shall establish a relationship or connection with the park. If the building does not front on the Greenbelt, a connection or open space area shall be created.

- 2.f. Sidewalks along the front facades should be a minimum of 15 feet wide to accommodate sidewalk uses such as vendors, merchandising and outdoor seating.

### 3. Open Space

Open space in the South End Development Area shall consist of landscape areas, natural areas, plazas or courtyards designed to enhance the architectural and natural features developed in this area. Each mixed-use district should dedicate a minimum of 20% of the site to open space.

- 3.a. Open spaces should contain direct access from the adjacent streets. The spaces should be open along the adjacent sidewalk and allow multiple points of entry.
- 3.b. The perimeter of the open spaces should consist of active uses that provide pedestrian traffic and uses for the space including retail, cafe and restaurants.
- 3.c. Open space shall consist of landscape areas, landscape islands, natural areas or plazas or courtyards meeting the following requirements:
  - (1) Landscape areas include buffers, yards, or any pervious surface meeting the landscape requirements.
    - (a) Appropriate landscape buffers should be provided to mitigate the impacts of

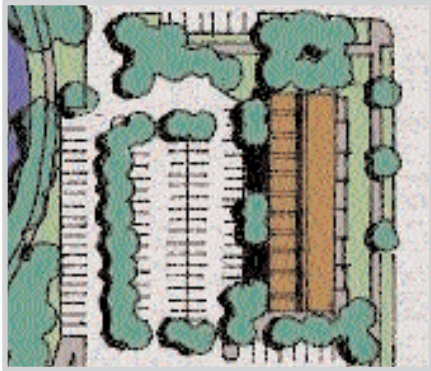


PUBLIC OPEN SPACE

noise and aesthetic concerns of adjoining single-family residential neighborhoods.

- (b) The corner of street intersections, particularly at the corner of NW 86th Street/Swanson Boulevard/University Boulevard, should be distinguished by special landscaping treatment such as flower displays, accent rocks, low walls, signage, decorative lighting, sculptures and/or unique paving.
- (c) Retention or detention basins may be used to meet open space requirements, if it is designed as a visual amenity for the development and the area surrounding the basin is accessible by walking paths or other recreation facility.

- (2) Plazas, courtyards and/or public art displays shall be included within each site. However, no more than 50% of a lots required open space shall consist of plazas or courtyards.
- (3) Natural areas should be located and sized according to the presence of the following factors:
  - (a) a concentration of significant tree stands with 5 or more trees with 4 inch caliper or greater within 500 square feet;
  - (b) steep slopes with a 20% or more grade covering more than 1,000 square feet;
  - (c) streams, lakes, stream buffers, or other regulated and non-regulated natural wetlands; or



PARKING SHOULD NOT DOMINATE THE FRONTAGE OF STREETS OR INTERRUPT PEDESTRIAN ROUTES

- (d) any other area managed for protection of habitats or native vegetation.

#### 4. Parking

Parking in this area should also be located to provide the greatest impact for shared public and private parking in a centralized location. Parking lots should be designed so that they do not dominate the frontage of streets or interrupt pedestrian routes.

- 4.a. Base parking requirements in the South-End Development Area shall be established by the current Clive Zoning Ordinance, however shared parking should be encouraged.
- 4.b. Parking lots shall be broken up into defined parking blocks so that no more than 150 parking spaces are provided in a single parking block.
- 4.c. Whenever sidewalks cross internal driveways, a highly visible crosswalk, constructed of materials that provide strong contrast with the vehicular surface, should be provided.
- 4.d. Parking lots along the street shall be screened from the adjacent street and sidewalk by walls, fences and landscaping.
- 4.e. Parking lots shall be adequately landscaped internally as well as around the perimeter.
- 4.f. Off-street bicycle parking and storage should be incorporated into the mixed-use district designs.
- 4.g. All parking, loading, delivery, or service facilities behind buildings shall be separated from any residential use on adjacent property.

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## 5. Site Access

Curb cuts on NW 86th Street shall be minimized. Access to sites shall occur at a single mid-block entrance with cross access easements, by alleys behind buildings, or by side streets.

## Architectural Character

### 6. Building Scale

The relative size or mass of a building in relation to adjacent buildings is a primary way to achieve design continuity within the South-End Development Area. Each building should be designed to form part of the larger composition rather than being designed in isolation of one another.

6.a. In order to achieve a degree of building scale compatibility, buildings in the South-End Development Area shall generally be designed with a minimum of two stories.

(1) Buildings located at street intersections should be designed with three stories.

6.b. Large buildings should be broken down in scale by both vertical and horizontal articulation of individual sections.

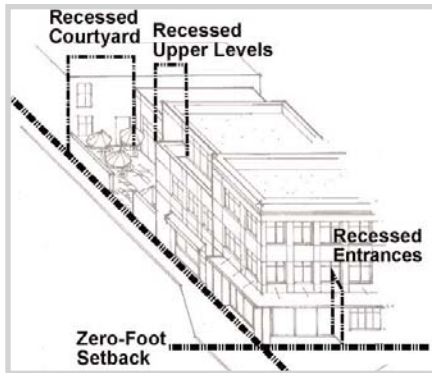
### 7. Dominant Building Material

In an attempt to unify the study area's visual characteristics it is recommended that masonry become the dominant building material for future construction.

### 8. Architectural Detailing

Architectural detailing is a way of decorating a single dominant building material. Ornamental in nature, detailing adds a finer grain of texture and scale to a building façade, improving the perceived quality and appearance.





PROPER SETBACKS

- 8.a. Detailing in the form of masonry soldier or sailor courses, corbels, concrete or stone lintels, metal screens, or other decorative applications or materials, such as terra cotta, wood, or metal should be used to contribute scale and texture to a building façade.
- 8.b. A tower or pediment at a building's cornice line may also be used to enhance the character or massing of a façade, provided its design and materials contribute to a consistent architectural style of the building.
- 8.c. Windows, bays and door openings should be proportioned so that verticals dominate horizontals except for street-level storefront windows, which may be square. No building frontage wall should remain unpierced by windows or doorways.
- 8.d. The ground level of the buildings shall be designed to offer pedestrian interest along the sidewalks. Signage, awnings, canopies and other ornamentation are encouraged.

## 9. Roof

The building roof not only provides protection from the elements, but also can enhance or detract from the design image of the building or area.

- 9.a. Only flat or slightly sloped roofs (for drainage) or should be used in the mixed-use districts.
  - (1) Parapets for screening mechanical equipment shall be incorporated on any façade facing a public street, open space or adjoining residential neighborhood.
  - (2) Sloped roofs may be only used in secondary conditions, such as a roof over ancillary building uses or building entrances.

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## 10. Enhanced Entrances

A front entrance to a building or business should be emphasized as a special and unique place on the building's storefront. Building entrances facing the public street will create a public storefront, viewable from the adjacent transportation corridor.

- 10.a. A building's primary entrance shall face the public street in total or in part, such as at a building corner. For buildings at the intersection of NW 86th Street and another street, the primary entrance shall face NW 86th Street in total or in part.

- (1) Secondary entrances may be used on any other façade.

- 10.b. Entrances should be designed to convey a sense of prominence through recessed, slightly projected or architecturally detailed elements.



ENHANCED ENTRANCE

## 11. The Building Front

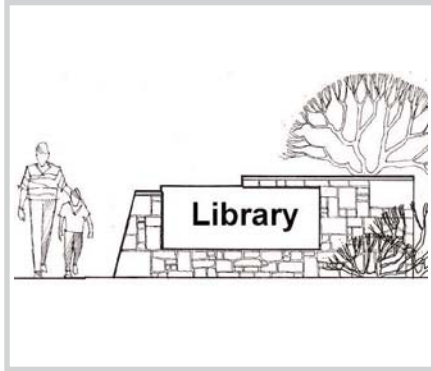
The proper arrangement of a storefront's doors and windows helps communicate the nature of a building's use and character. Although storefronts may be removed from the public street, a visible presence may still be established for on-street traffic and pedestrian walkways.

- 11.a. The ground level of a storefront facing the major road way should be transparent (70% clear glass minimum). In the case of corner buildings, the ground level building façade along the side streets should have a minimum of 40% clear glass.

- 11.b. Storefront displays shall be uncluttered and artistic. Storefront displays should incorporate decorative lighting for nighttime use.

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- 11.c. Building lighting should be incorporated on a front façade, as well as any façade that is adjacent to a public access area. This will enhance the building's architectural detailing and/or to light a walkway or parking area. Building lighting shall be compatible with the building's architectural theme.

# SIGNAGE DESIGN GUIDELINES



MONUMENT SIGN  
RENDERING

Signage throughout the corridor can serve as a unifying element that signifies the NW 86th Street Corridor as a unique place. This section more specifically defines the regulations for private monument and building signs within the NW 86th Street corridor.

## 1. Monument Signs

Monument signs will create a unifying theme throughout the corridor while creating measured, and consistent identification of the various land uses within the corridor.

1.a. *North-End Development Area:* One monument sign per curb cut onto NW 86th Street and Hickman Road shall be permitted. Each monument sign shall be designed in accordance with the following:

- (1) Monument signs shall be designed to primarily identify the development or development area rather than the specific businesses. No more than three names and/or logotypes shall be permitted on each monument sign.
  - (a) Monument signs along Hickman Road shall be designed with a maximum height of 12 feet and a maximum width of 8 feet. The monument sign shall be setback from the right-of-way a minimum of 10 feet.
  - (b) Monument signs along NW 86th Street or any other side streets shall be designed with a maximum height of 6 feet and a maximum width of 6 feet. The monument sign shall be setback from the right-of-way a minimum of 5 feet.



EXAMPLE OF EXISTING  
MONUMENT SIGN

- (d) Monument signs shall have a monolithic or columnar line that maintains essentially the same profile from grade to top.
- (e) The sign structure shall be constructed of brick masonry to match the building. For the purpose of this requirement, metal sign cabinets must have a minimum 8 inch brick masonry surround.
- (f) A minimum 3 foot base of contrasting colored material such as split faced concrete masonry units shall be utilized on all 12 foot tall monument signs. A minimum 18 inch base shall be utilized on all 6 tall monument signs.

1.b *Summit/Alice Residential Development Area:* Monument signage shall be permitted along NW 86th Street in this development area for the purpose of establishing a common neighborhood or complex identification when there exists an owner's association that provides for the maintenance of the sign and/or structures.

- (1) Monument signs shall be designed with a maximum height of 6 feet and a maximum width of 6 feet. The monument sign shall be setback from the right-of-way a minimum of 5 feet.
- (2) Such signs shall include extensive landscaping and may incorporate fountains, fences or other similar features.

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1.c. *Harbach Commercial Development Area:* One monument sign shall be permitted per developed lot and shall be designed in accordance with the following:

- (1) Monument signs along NW 86th Street shall be designed with a maximum height of 6 feet and a maximum width of 6 feet. The monument sign shall be setback from the right-of-way a minimum of 5 feet.
- (2) Monument signs shall have a monolithic or columnar line that maintains essentially the same profile from grade to top.
- (3) The sign structure shall be constructed of brick masonry to match the building. For the purpose of this requirement, metal sign cabinets must have a minimum 8 inch brick masonry surround.
- (4) A minimum 18 inch base of contrasting colored material such as split faced concrete masonry units shall be utilized on all monument signs.
- (5) The monument sign shall be generally located in the center of a lot or adjacent to the mid-block driveway provided that a 25 foot clear zone is accommodated. In no case shall a monument sign be located within a 50 foot clear zone of NW 86th Street and any other side street.

1.d. *South-End Development Area:* Signage should generally be in accordance with the Harbach Commercial

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Development Area design guidelines and the current Clive Zoning Ordinance; however, specific regulations appropriate with each mixed-use district development shall be reviewed at the time of approval.

- 1.e. Monument signs shall have a monolithic or columnar line that maintains essentially the same profile from grade to top. The sign base shall be designed and constructed of the same materials, including a similar masonry composition as the commercial structure.

## **2. Building Signs**

Building signs shall be regulated in all development areas in the NW 86th Street Corridor by the current Zoning Ordinance provisions in Chapter 13 Sign Regulations with the following exceptions:

- 2.a. All building signage shall be designed and constructed as individually lit or non-lighted channel letters. No panel signs shall be permitted.
- 2.b. In no case shall a letter, symbol or logotype dimension be greater than three feet.
- 2.c. All building signage within a multiple tenant building shall be designed and constructed in a similar manner such that letter size, colors and materials shall be consistent throughout.
- 2.d. Window signs may not obscure more than fifteen percent (15%) of the window area per facade, measured and located within ten (10) vertical feet from the at-grade exterior entrance to the tenant space. The area of the sign shall be measured by the smallest box that could be drawn around the continuity of the sign. No illuminated window signs shall be within two feet of the window glazing except for open/closed signs.